



Regional District of  
Kootenay Boundary

## Electoral Area E/West Boundary (Big White)

### Advisory Planning Commission AGENDA

#### NOTICE OF MEETING

Date: **Tuesday, May 3, 2022**  
Time: **5:00 pm**

Zoom meeting details:  
<https://rdkb.zoom.us/j/61430853376?pwd=M1NrWUVMNXh3WlFKWXB3KzdmVDU1QT09>  
Meeting ID: 614 3085 3376  
Passcode: 969682  
1-647-374-4685

1. **CALL TO ORDER**

2. **LAND ACKNOWLEDGEMENT**

We acknowledge and appreciate that the land on which we gather is the converging, traditional and unceded territory of the Syilx, Secwepemc, and Sinixt Peoples as well as the Metis Peoples whose footsteps have also marked these lands.

3. **ADOPTION OF AGENDA**

**Recommendation:** That the May 3, 2022 Electoral Area E/West Boundary (Big White) Advisory Planning Commission Agenda be adopted.

4. **MINUTES**

**Recommendation:** That the April 5, 2022 Electoral Area E/West Boundary (Big White) Advisory Planning Commission Minutes be adopted.

5. **DELEGATIONS**

6. **UPDATES TO APPLICATIONS AND REFERRALS**

7. **NEW BUSINESS**

A. **Sundance Development Ltd.**  
**RE: Development Permit Amendment**  
RDKB File: BW-4222-07500.001

B. **BC Timber Sales**  
**RE: Cut Blocks**  
RDKB File: B-54-BW

8. **FOR INFORMATION**

9. **FOR DISCUSSION**

10. **ADJOURNMENT**



Regional District of  
**Kootenay Boundary**

**ELECTORAL AREA E/WEST BOUNDARY  
(BIG WHITE)**

**ADVISORY PLANNING COMMISSION**

**MINUTES**

Tuesday, April 5, 2022, commencing at 5:00 p.m.

Minutes taken by: John LeBrun

**PRESENT:** Rachelle Marcinkoski, John LeBrun, Mike Figurski (1725), and  
Anastasia Byrne

**ABSENT:** Paul Sulyma

**RDKB DIRECTOR:** Vicki Gee

**RDKB STAFF:**

**GUESTS:**

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**1. CALL TO ORDER**

The meeting was called to order at 1700.

**2. LAND ACKNOWLEDGEMENT.**

We acknowledge and appreciate that the land on which we gather is the converging, traditional and unceded territory of the Syilx, Secwepemc, and Sinixt Peoples as well as the Metis Peoples whose footsteps have also marked these lands

**3. ADOPTION OF AGENDA (Additions/Deletions)**

**Recommendation:** That the April 5, 2022 Electoral Area E/West Boundary (Big White) Advisory Planning Commission Agenda be adopted.

**Motion to adopt by Rachelle seconded by John.**

**ADOPTED**

4. **ADOPTION OF MINUTES**

**Recommendation:** That the March 8, 2022 Electoral Area E/West Boundary (Big White) Advisory Planning Commission Minutes be adopted.

**Motion to adopt by Rachelle seconded by John.**

**ADOPTED**

5. **DELEGATIONS**

6. **UPDATED APPLICATIONS AND REFERRALS**

The application to switch the property designated for staff housing with property to the north designated for residential housing was rejected by the local first nations. Due to this another public hearing is scheduled for April 13 at 1800.

7. **NEW BUSINESS**

**A. 655221 BC Ltd**

**RE: Front Counter BC Mining Lease Referral**

RDKB File: B-4

Discussion/Observations:

There was a general discussion about the property at one time being scheduled or an application was made to consider uranium mining in this area.

**Recommendation:**

It was moved, seconded and resolved that the APC recommends to the Regional District that the referral RDKB File B-4

Be supported with the above comment.

**Motion to adopt by John seconded by Anastasia.**

**ADOPTED**



## 8. **FOR DISCUSSION**



1. The picture above shows the garbage container for staff housing. The concern expressed was that the size of the container would not hold the amount of garbage generated by the residents.
2. It was thought that all outside garbage container had to be "bear proof".
3. The project is completed and yet the landscaping, sidewalks/walkways, lighting and paving of the driveway and parking, has not been completed/started. Is this not a requirement of the development?

## 9. **FOR INFORMATION**

## 10. **ADJOURNMENT**

It was moved and seconded that the meeting be adjourned at 1731.



# Electoral Area E/West Boundary-Big White Advisory Planning Commission (APC) Staff Report

<b>RE:</b>	Development Permit Amendment – 132246 BC Ltd. (243I-22D)		
<b>Date:</b>	May 03, 2022	<b>File #:</b>	BW-4222-07500.001
<b>To:</b>	Members of the Electoral Area E/West Boundary-Big White APC		
<b>From:</b>	Geoffrey Genge, Planner		

## Issue Introduction

We have received an application from Justice Marks, on behalf of Jeffrey Houghton and Dan Rootes (132246 BC Ltd.), for a Development Permit Amendment for the construction of Phases 9 and 10 of the Sundance Resort in Electoral Area E/Big White (see attachments).

Property Information	
<b>Owner(s):</b>	Jeffrey Houghton and Dan Rootes (132246 BC Ltd.)
<b>Agent:</b>	Justice Marks - H&H Custom Homes
<b>Location:</b>	255 Feathertop Way
<b>Electoral Area:</b>	E/West Boundary–Big White
<b>Legal Description(s):</b>	Lot 1, Plan KAP72799, DL 4222, SDYD, Except Plan KAS2609 (Phases 1-8 inclusive)
<b>Area:</b>	0.49 ha (1.21 acr) whole remainder
<b>Current Use(s):</b>	Vacant
Land Use Bylaws	
<b>OCP Bylaw: 1125</b>	Village Core
<b>DP Area:</b>	Commercial & Multi-Family (DP1) Alpine Environmentally Sensitive (DP2)
<b>Zoning Bylaw: 1166</b>	Village Core 6 (VC6)

## History / Background Information

The subject property is a remainder parcel associated with the Sundance Resort Development. Phases 1-8 were constructed primarily between 2003 and 2017. H&H Custom Homes purchased the remaining land in January 2022 with the intent of developing the remainder in accordance with the original developer's plans regarding the number of units and density.

The parcel is designated "Village Core" by Official Community Plan (OCP) Bylaw No. 1125 and zoned "Village Core 6" by Zoning Bylaw No. 1166. It also falls within the

Commercial and Multi-Family (DP1) and Alpine Environmentally Sensitive (DP2) Development Permit Areas identified in the OCP.

## **Proposal**

The proposal is to amend the existing Development Permit (243G-06D) for the construction of Phases 9 and 10 of the development. Phase 5 (a portion of which is now Phase 9 and 10) was initially meant to include six cabins on the northern portion of the parcel, along with a 4-unit townhouse building on the southeastern portion and overflow parking in the southwest corner of the site (see attachments).

The applicant would like to construct two duplexes (four units total) rather than the six (6) cabins originally planned on the northwestern portion of the remainder parcel as a part of Phase 9 and one (1) single family dwelling as a part of Phase 10.

This amendment is meant to address the immediate needs of the development proposal. The applicant has indicated that they still have plans to construct more units in the remaining portions (Phase 11-12) but would like to begin with the two duplexes and single family dwelling in 2022.

## **Implications**

### Landscaping

The amended landscape plan shows approximately 73 native vegetation plantings adjacent to the proposed duplexes and single family dwelling, consistent with our Alpine Environmentally Sensitive DPA guidelines. A native hydroseed grass mix containing Blue Bunch Wheat Grass, Rough Fescue, Idaho Fescue, Perennial Ryegrass, Sandberg Bluegrass and June grass will be used on disturbed areas around the proposed buildings.

The site plan notes that no additional drainage is necessary due to the natural slope of the subject property towards the eastern edge of the parcel along the strata road and Feathertop Way.

Decorative gravel garden beds with feature boulders are proposed for the sides of the buildings to minimize mud during the spring snow melt and adhere to FireSmart BC principles. The slopes to the south of the proposed buildings will be left in its natural state with existing vegetation left intact with proposed tree plantings where possible that fit with the landscape.

There are two (2) large snow storage areas being proposed. One of these is across the strata road from the duplexes while another is at the end of the strata road. The paving material for all three (3) driveways is to be asphalt.

The eastern and southern side of the property will have clusters of small garden areas with a mixture of shrubs and low level vegetation, some of which are from the list of approved vegetation as found in the "Guide for Development Permit Applications – Big White Ski Resort" document. None of the proposed plantings contain invasive species. The applicant has proposed the planting of nine (9) trees in clusters along the southern

edge of the proposed buildings. Six (6) of these are Trembling Aspen and three (3) of these will be Ponderosa Pines. The applicant is aware that the Ponderosa Pines should be planted away from the buildings as advised by FireSmart BC or can be swapped out for Western Larch if required.

The applicant mentions that all the plantings were chosen for their drought resistant qualities and will not need additional irrigation after establishment.

### Zoning Considerations

Parking for the six cabins that were originally proposed in Phase 5 was to be entirely uncovered, requiring guests and residents to park along the internal road. Under the new proposal each unit has one covered and one uncovered parking stall associated with it. This new parking scheme meets our Zoning Bylaw requirements and results in less burden on the internal road to accommodate parking (see attachments).

Zoning Bylaw No. 1166 stipulates that in the Village Core 6 zone, Multiple Family Dwellings are a permitted use. Multiple Family Dwellings are defined as *"a building or group of buildings on one parcel, at least one of which contains three or more dwelling units"*. Phase 11 of the applicant's plan contains one (1) triplex unit which would meet the regulations as defined in Zoning Bylaw No. 1166.

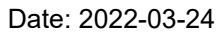
The proposal appears to be consistent with all Zoning Bylaw requirements. The proposal is also consistent with all other OCP policies as well as the conditions of the original Development Permit approval.

## **ATTACHMENTS**

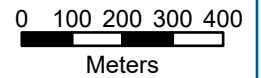
Site Location Map  
Subject Property Map  
Applicant Submission  
DPA 2019 Site Survey for Reference







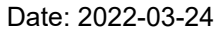
Lot 1,  
Plan KAP72799, District Lot 4222,  
Similkameen Div of Yale District



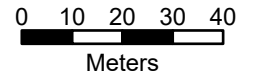
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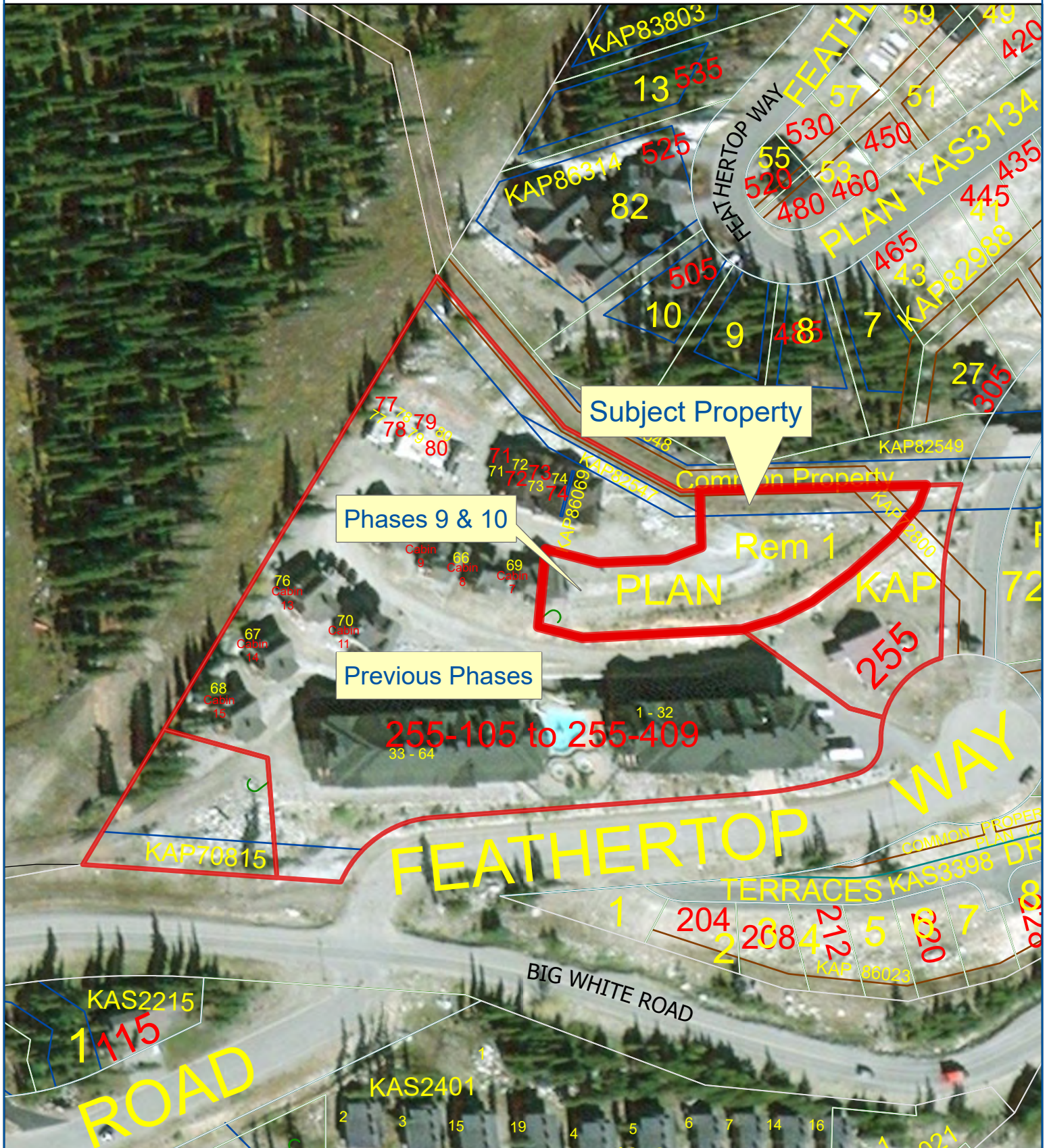




Lot 1,  
Plan KAP72799, District Lot 4222,  
Similkameen Div of Yale District



1:1,500



202-843 Rossland Ave, Trail BC V1R 4S8 | T: 250.368.9148 | T/F: 1.800.355.7352 | [rdkb.com](http://rdkb.com)

Document Path: P:\PD\EA 'E' Big White\BW-4222-07500.001 Sundance\2022-April-DP-Amendment\Maps\2022-03-24 Mapping BW-4222-07500.001-Sundance.aprx



## H & H Custom Homes

101, 540 Groves Avenue  
Kelowna, BC V1Y4Y7  
Ph.250-236-9888

RDKB Planning and Development Department  
843 Rossland Avenue  
Trail, BC V1R 4S8

March 15, 2022

To the RDKB Planning and Development Department,

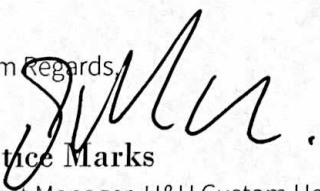
We are proud to submit our development permit application for phases 9 & 10 in the Sundance Resort at Big White, located at 255 Feathertop Way for your review. Our application represents the latest additions to a nearly 20 year old development spanning 12 total phases.

In January of 2022, our company purchased the remaining land from the original developer and set out to expedite the completion of the remaining phases. We have been working with the Strata to design homes that complement the existing phases while continuing the original developers plans regarding units and density.

Phase 9 consist of two duplexes, while phase 10 consist of a single-family residence. The homes of both phases 9 & 10 and accessed via a pre-existing strata road along the front of the properties. The homes themselves will be styled in form and character to match a mountain chalet esthetics. Our proposed landscaping is designed to augment the baron rocky hillside with native greenery and selected accent plants.

This application represents countless hours of consultation, design and planning and we believe we have designed the proposed development to please all partners and parties.

Warm Regards,



**Justice Marks**

Project Manager, H&H Custom Homes



## 255 FEATHERTOP WAY: BIG WHITE DEVELOPMENT

### LETTER OF RECLAMATION – Landscape Architecture

The 255 Feathertop Way Development consists of three walk-out buildings; one single family unit within phase 9 and two duplex units within phase 10, located off an internal strata road. This road is largely existing but will need to be extended slightly to provide access to the garage of the phase 9 unit. A retaining wall may be required to accommodate the extended strata road.

The site naturally sloped down from the upper strata road access down to the South property line. The site is an undeveloped parcel that was previously cleared of large vegetation, though some native vegetation has regrown along the South boundary. The landscape plans identify the potential area of existing vegetation for retention and aim to enhance this with the new proposed vegetation. Snow fencing should be installed for the duration of construction to discourage encroachment into existing vegetated areas.

The landscape design responds to the natural setting of the site and utilizes a plant palette that are drought tolerant, native to the area and accustomed to the alpine setting. Proposed plant varieties sizes were selected to allow for ease of transport of plant material to the site and to allow for establishment without the use of irrigation. Plant material install should be avoided during hot summer months to further assist with establishment.

Firesmart Guidelines have been adhered to using non-combustible dry rock beds located immediately adjacent to building with shrub and low-level plantings set away from the building a minimum of 1.5 meters. The proposed tree plantings incorporate native deciduous varieties where they are closer to the buildings and native coniferous species located a minimum of 10m from building edges. Alternatively, the proposed trees could be replaced with Western Larch (*Larix occidentalis*) for further protection from wildfires.

Disturbed areas, due to the new building construction and any areas previously cleared, are to be re-seeded with a native grass mix to mitigate and control potential erosion and runoff. The grass mix is composed of Blue Bunch Wheat Grass, Rough Fescue, Idaho Fescue, Perennial Ryegrass, Sandberg Bluegrass and June grass. Where extremely steep slopes are present, dryland seed areas could be supplemented with coco matting for erosion control. Silt fencing should be installed throughout the extent of construction works to mitigate erosion from construction activities.



Snow storage areas have been located away from main circulation routes and building entries and consist of the native dryland grass mix that will not be adversely affected by the snow loads. These areas are clear of larger plant species that could be damaged by snow loads.

All landscape improvements should meet or exceed the best practice standards established in the Canadian Landscape Standards for both installation and maintenance and ensure all construction debris is removed upon completion of both landscape and infrastructure improvements.

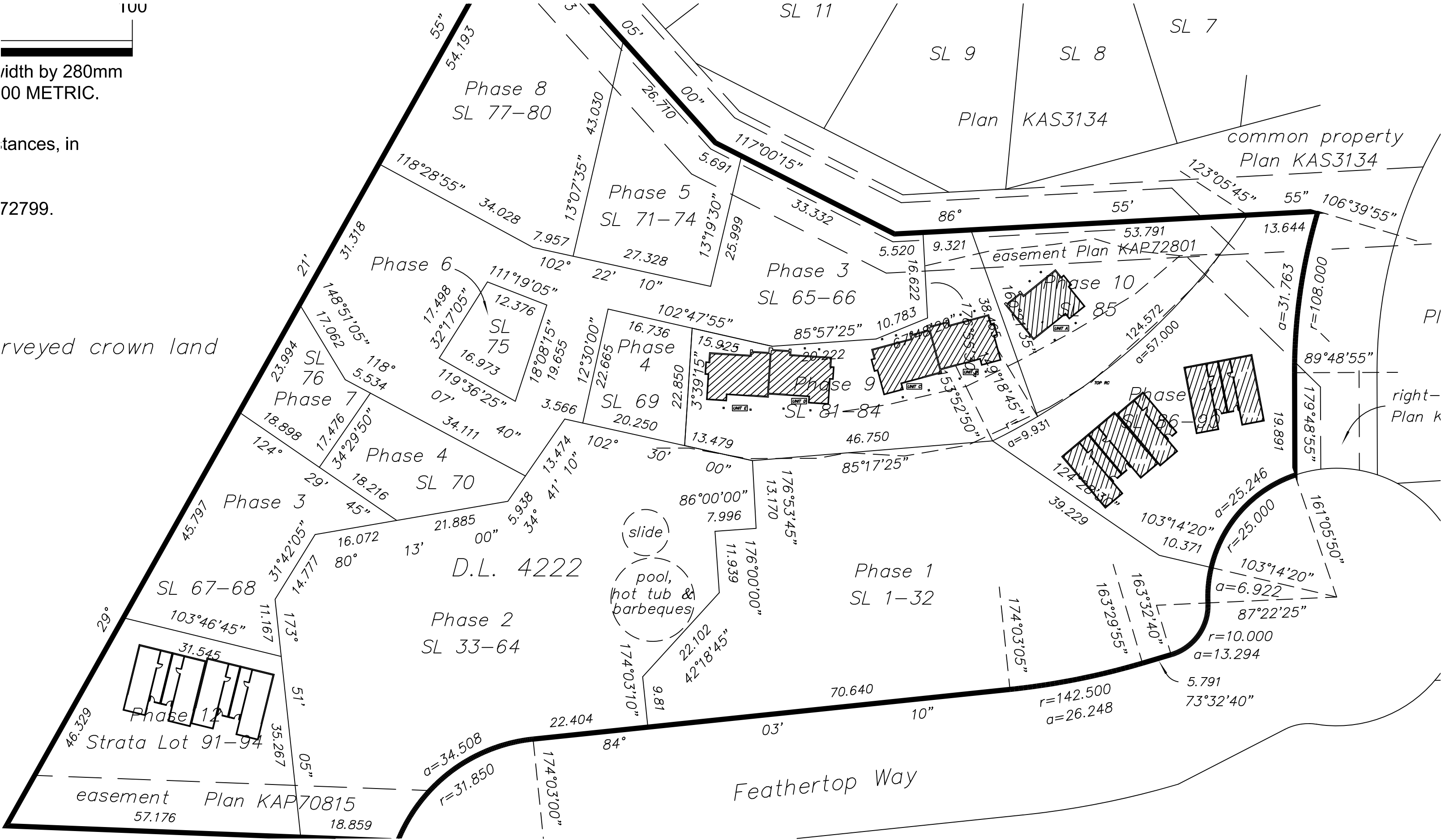


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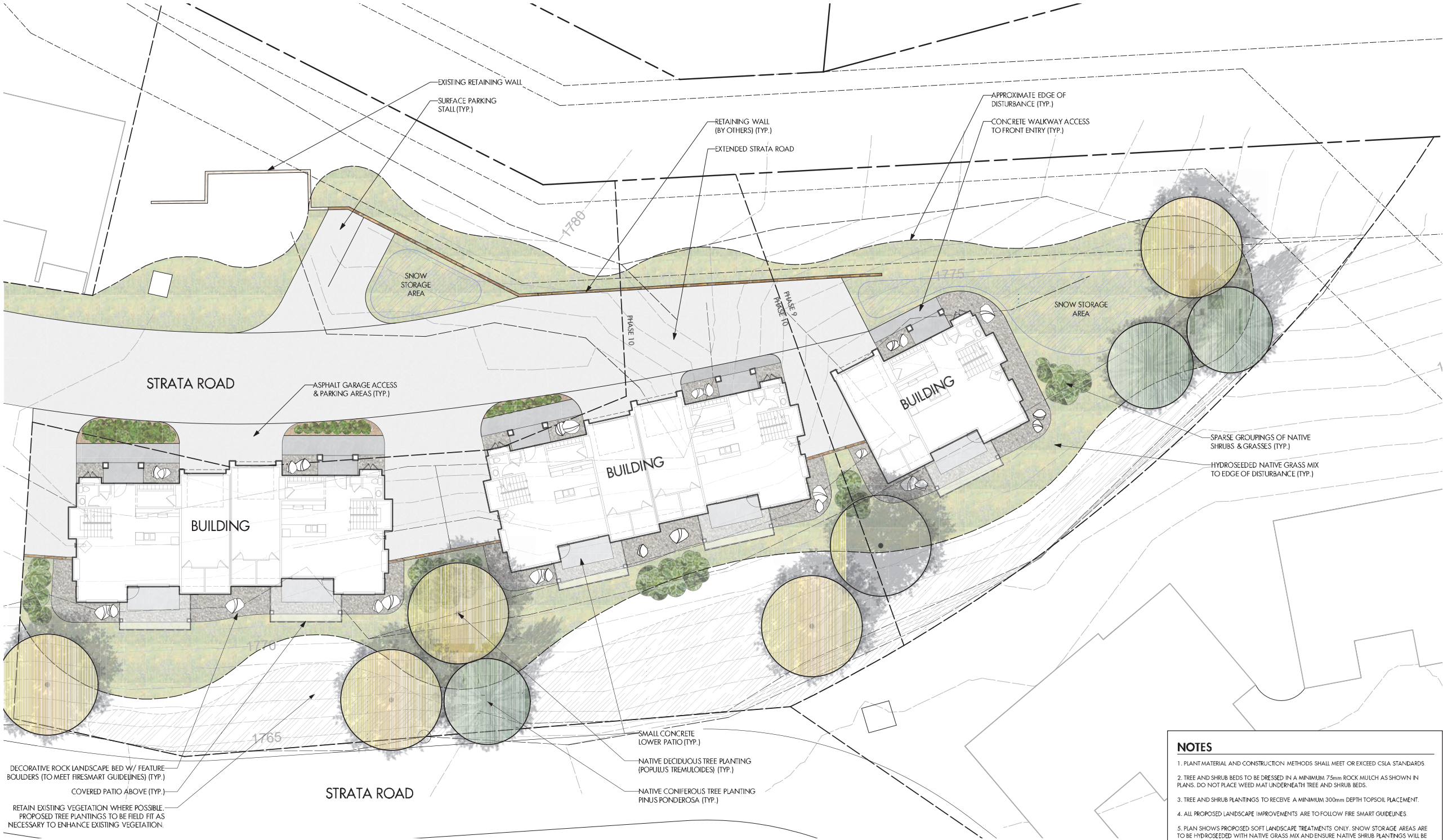


Phase 12

Phases 9 & 10

Phase 11





DECORATIVE ROCK LANDSCAPE BED W/ FEATURE BOULDERS (TO MEET FIRESMART GUIDELINES) (TYP.)

COVERED PATIO ABOVE (TYP.)

RETAIN EXISTING VEGETATION WHERE POSSIBLE. PROPOSED TREE PLANTINGS TO BE FIELD FIT AS NECESSARY TO ENHANCE EXISTING VEGETATION.

PLANT LIST			
BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
PINUS PONDEROSA	PONDEROSA PINE	3	#15 CONT.
POPULUS TREMULOIDES	TREMBLING ASPEN	6	#15 CONT.
SHRUBS			
MAHONIA AQUIFOLIUM	OREGON GRAPE HOLLY	5	#02 CONT. /1.5M O.C. SPACING
ROSA WOODSI	WOOD'S ROSE	5	#02 CONT. /1.5M O.C. SPACING
POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	12	#02 CONT. /1.0M O.C. SPACING
PERENNIALS, GRASSES & GROUNDCOVERS			
AQUILEGIA FORMOSA	WESTERN COLUMBINE	21	#01 CONT. /0.75M O.C. SPACING
LUPINUS ARCTICUS	ARCTIC LUPINE	21	#01 CONT. /0.75M O.C. SPACING

**NOTES**

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CSA STANDARDS.

2. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm ROCK MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.

3. TREE AND SHRUB PLANTINGS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.

4. ALL PROPOSED LANDSCAPE IMPROVEMENTS ARE TO FOLLOW FIRE SMART GUIDELINES.

5. PLAN SHOWS PROPOSED SOFT LANDSCAPE TREATMENTS ONLY. SNOW STORAGE AREAS ARE TO BE HYDROSEEDING WITH NATIVE GRASS MIX AND ENSURE NATIVE SHRUB PLANTINGS WILL BE LOCATED OUTSIDE THESE AREAS SO NOT TO BE IMPACTED BY SNOW CLEARANCE ACTIVITIES.

6. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE UPON COMPLETION OF IMPROVEMENTS.

7. DISTURBED AREAS ARE TO BE HYDROSEEDING WITH A NATIVE SEED MIX AND SPARSE GROUPINGS OF NATIVE SHRUB PLANTINGS, AS SHOWN ON THE PLANS.

DRYLAND SEED MIXTURE	BY WEIGHT	BY SPECIES
BLUE BUNCH WHEAT GRASS	41%	23%
ROUGH FESCUE	25%	20%
IDAHIO RESCUE	15%	19%
PERENNIAL RYEGRASS	10%	7%
SANDBERG BLUEGRASS	5%	13%
JUNE GRASS	4%	18%

HYDROSEEDING APPLICATION RATE (DRYLAND SEED AREA)

NATIVE SEED	DRYLAND SEED MIXTURE	125KG/HECTARE
FERTILIZER	18-18-18-2, 50% SULPHUR COATED UREA	300KG/HECTARE
MULCH	CANFOR ECOFIBRE PLUS TAC	2,800KG/HECTARE
TACKIFIER	GUAR	3% OF MIX

THE ABOVE HYDROSEEDING MIXTURE IS RECOMMENDED FOR THE DRYLAND SEED AREA AND ANY OTHER DISTURBED AREAS AS SHOWN ON THE DRAWING, HOWEVER THE FINAL SEED APPLICATION SHALL INCLUDE THE LARGEST NATIVE GRASS SPECIES POSSIBLE, AS DETERMINED BY THE ENVIRONMENTAL CONSULTANT, LANDSCAPE ARCHITECT, AND GEOTECHNICAL ENGINEER. SEED MIX TO BE CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S SPECIFICATIONS FOR PRODUCT DELIVERY, STORAGE & PROTECTION.



PROJECT TITLE

**255 FEATHERTOP WAY:  
BIG WHITE DEVELOPMENT**

Regional District of Kootenay Boundary, BC

PROJECT TITLE

**CONCEPTUAL LANDSCAPE  
RECLAMATION PLAN**

NO.	REVISION	DATE
1	ISSUED FOR REVIEW	2024-05-15
2	REVISED	2024-05-15
3	REVISED	2024-05-15
4	REVISED	2024-05-15
5	REVISED	2024-05-15

DESIGNED BY	ECORA
DRAWN BY	ECORA
CHECKED BY	ECORA
APPROVED BY	ECORA
DATE	2024-05-15
SCALE	AS SHOWN
PROJECT NO.	255-2024-05-15



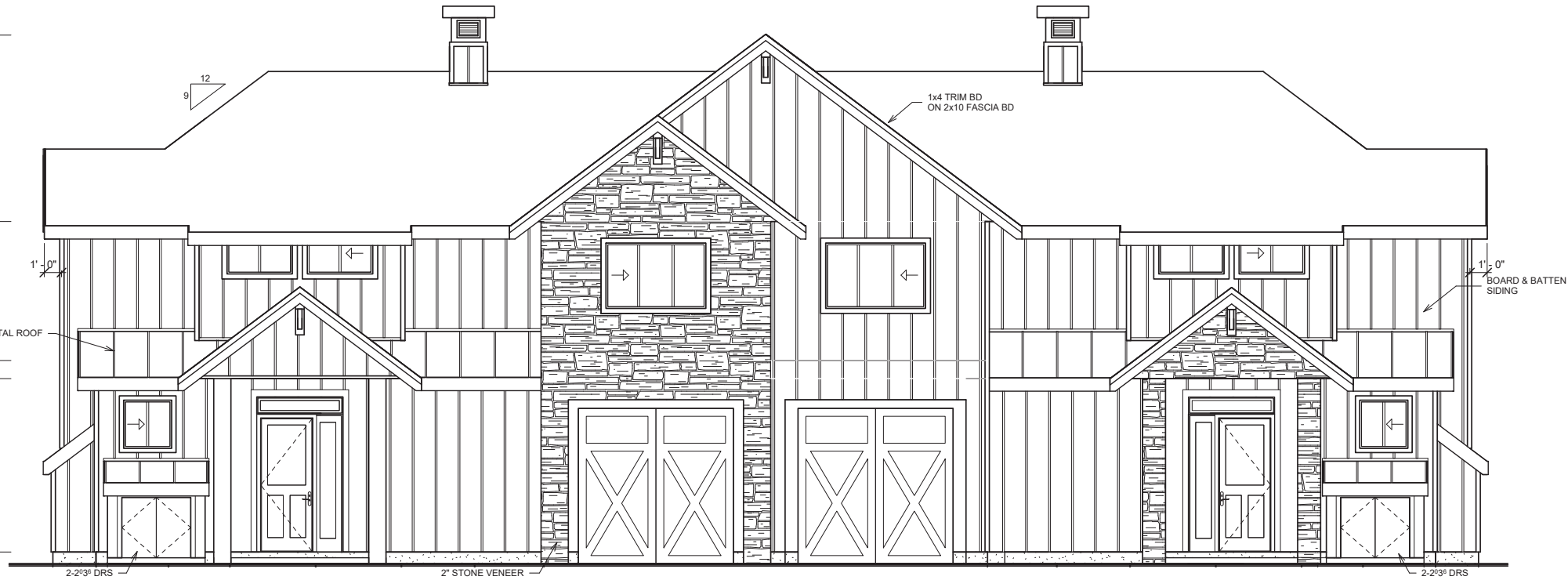
ROOF  
29' - 11 15/16"

SECOND FLOOR CEILING  
19' - 2 1/8"

SECOND FLOOR  
11' - 1 3/8"

FIRST FLOOR CEILING  
10' - 0 3/4"

FIRST FLOOR  
0' - 0"



FRONT ELEVATION

1/4" = 1'-0"

ROOF  
29' - 11 15/16"

SECOND FLOOR CEILING  
19' - 2 1/8"

SECOND FLOOR  
11' - 1 3/8"

FIRST FLOOR CEILING  
10' - 0 3/4"

FIRST FLOOR  
0' - 0"

U/S FLOOR JOIST  
-1' - 0 5/8"

BASEMENT  
-10' - 1 3/8"



REAR ELEVATION

1/4" = 1'-0"

HEAD OFFICE:

201-1550 COMMERCE AVE  
KELOWNA, B.C., V1X 8A9  
(250) 420-3346  
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED



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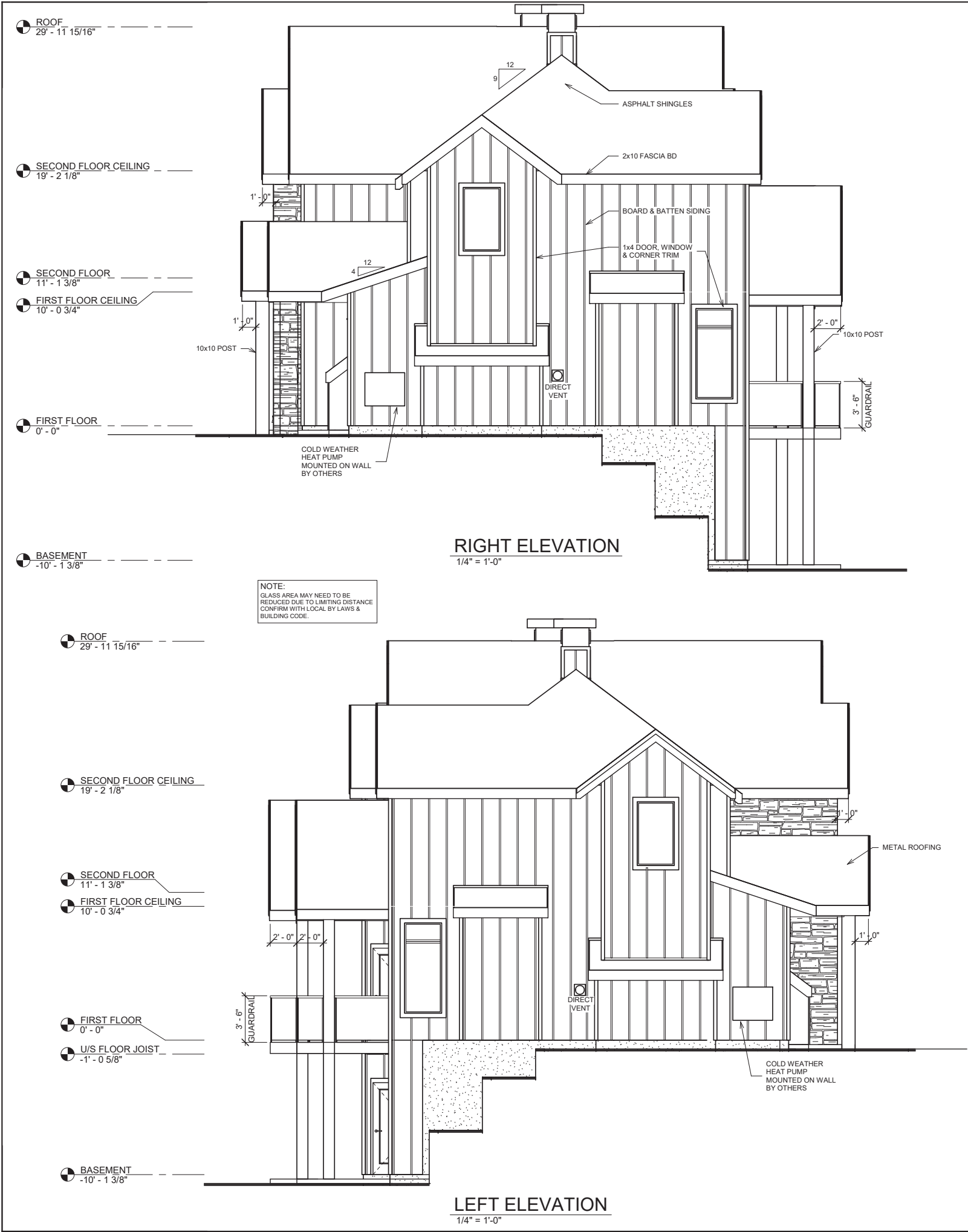
DATE:  
FEB. '22

SCALE:  
AS NOTED

SHEET:  
5 OF 7

PLAN NUMBER:  
C8-3-108





NOTE:  
ENGINEER'S ADDENDUMS, STRUCTURAL DETAILS, AND NOTES  
SUPERCEDE THOSE NOTED ON THIS GENERAL NOTE SHEET  
DEPENDING ON LOCAL CONDITIONS.

### GENERAL NOTES

**STANDARD NOTES**

- THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED PLANS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE PLANS, THE OWNER AND/OR BUILDER ACCEPTS THESE PLANS AS DRAWN AND HAS READ AND UNDERSTANDS THE GENERAL NOTES AS FOLLOWS.
- THIS DRAWING WAS PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE BC BUILDING CODE. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO INSURE THAT SUBSEQUENT CHANGES TO THE CODE ARE COMPLIED WITH AND INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO THE CURRENT BC BUILDING CODE AND/OR LOCAL BUILDING CODES AND BYLAW THAT MAY TAKE PRECEDENCE.
- ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- JENISH HOUSE DESIGN LIMITED SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOAD.
- THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY CONSTRUCTION SITE AT ALL TIMES.
- AT END OF CONSTRUCTION THE BUILDER SHALL BE RESPONSIBLE FOR CLEANING THE JOB SITE AND BUILDING(S) OF ANY REFUSE AND MAKING GOOD ANY DAMAGE TO BUILDING(S) INCURRED DURING CONSTRUCTION.
- PRIOR TO COMMENCING EXCAVATION WORK THE BUILDER SHALL BE RESPONSIBLE FOR ESTABLISHING THE LOCATION OF AND CLEARLY MARKING EXISTING SERVICES AND IMMEDIATELY NOTIFYING APPLICABLE AUTHORITIES OF ANY DISCREPANCIES.
- TOPSOIL AND EXCAVATED MATERIAL TO BE STOCKPILED SEPARATELY ON SITE.

**ERRORS AND OMISSIONS**

- JENISH HOUSE DESIGN LIMITED MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR COMMISSIONS THAT MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION.
- SHOULD ANY DISCREPANCIES BE FOUND ON THE PLANS PLEASE ADVISE OUR OFFICE AT YOUR EARLIEST CONVENIENCE, BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS PURCHASED IN THIS WAY. WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM RECURRING.

**STRUCTURAL DESIGN AND ENGINEERING**

- TO PROVIDE OUR CLIENTS WITH DISTINCTIVE AND ATTRACTIVE DESIGNS IT HAS BEEN NECESSARY IN SOME INSTANCES TO USE BEAM SIZES AND FRAMING DETAILS NOT SPECIFIED IN PART NINE OF THE B.C. BUILDING CODE. THE CITY OR MUNICIPAL BUILDING DEPARTMENT MAY REQUIRE CONFIRMATION BY A CERTIFIED STRUCTURAL ENGINEER WHICH IS THE RESPONSIBILITY OF OWNER OR BUILDER TO PROVIDE.

**STRUCTURAL DESIGN CRITERIA**

- ASSUMED ROOF DESIGN LOAD (LIVE AND DEAD) - 50 POUNDS PER SQUARE FOOT (2.5 KILN SO.)
- ASSUMED SOIL BEARING CAPACITY - 2,500 P.S.F. (119.7 KILN SO.)
- CONCRETE FOUNDATIONS AND SLABS ON GRADE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPA AT 28 DAYS.
- FRAMING LUMBER TO BE #2 S.P.F. AND BETTER UNLESS OTHERWISE NOTED.
- BEAMS TO BE #2 S.P.F. AND BETTER.

NOTE:  
IF SOIL CONDITIONS ARE LESS, OR FLOOR AND ROOF LOADS ARE GREATER THAN THIS PLAN IS DESIGNED FOR, YOUR BUILDING DEPARTMENT MAY REQUIRE ADJUSTMENTS TO THE PLANS OR ASK THAT THE PLANS BE ENGINEERED BY A CERTIFIED STRUCTURAL ENGINEER. IT IS BEST THAT AN ENGINEER FAMILIAR WITH LOCAL CONDITIONS BE CONSULTED.

**SITE PLAN NOTES**

- IF A SITE PLAN IS NOT PROVIDED BY JENISH HOUSE DESIGN LIMITED, THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THIS HOME ON THE PROPERTY. JENISH HOUSE DESIGN LIMITED ASSUMES NO LIABILITY FOR PLANS COMPLYING WITH ZONING REGULATIONS OR LOT CONDITIONS.
- OWNER SHALL SUPPLY ANY MISSING INFORMATION ON SITE PLAN, I.E. DIMENSIONS, ELEVATIONS OF LOT, LEGAL DESCRIPTION, SITE ADDRESS, NORTH DIRECTION, AND LOCATION OF SERVICES, EASEMENTS AND RIGHT OF WAYS. ALL MEASUREMENTS ON SITE PLAN TO BE GOVERNED AND APPROVED BY AUTHORITIES HAVING JURISDICTION BEFORE STARTING CONSTRUCTION.
- WELLS AND SEPTIC DISPOSAL SYSTEMS TO BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH HEALTH AUTHORITIES HAVING JURISDICTION.

**ELECTRICAL**

- INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH THE BC ELECTRICAL CODE AND REGULATIONS AND WITH THE LOCAL ELECTRIC POWER SUPPLIER'S REGULATIONS IN ALL RESPECTS.
- ELECTRICAL OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT BUILDING CODE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDING TO OWNER'S REQUIREMENTS.

**FOUNDATIONS**

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- ALL CONCRETE AND MASONRY FOUNDATION WALLS EXCEEDING HEIGHT LIMITS SPECIFIED BY CURRENT BUILDING CODES REQUIRE ENGINEERING.
- PERIMETER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED TO THE APPROVAL OF LOCAL AUTHORITIES.
- IT IS RECOMMENDED THAT ALL FOUNDATION WALLS 24" (600 MM) AND HIGHER SHALL HAVE ONE 12MM (1/2" DIAMETER) REINFORCING BAR CENTERED 3" FROM TOP. CORNER REINFORCING TO BE LAPPED MINIMUM 24".

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- DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF PARTITION WALLS UNLESS OTHERWISE NOTED. FACE OF EXTERIOR STUD WALL AND FOUNDATION WALL TO BE FLUSH.
- JOISTS SHALL BE DOUBLED UNDER PARALLEL PARTITIONS OVER 6'-0" LONG. JOISTS TO BE PLACED TO ACCOMMODATE HEATING, PLUMBING, ETC.
- ALL LINTELS SHALL BE 2 - 2 X 10'S UNLESS OTHERWISE NOTED.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 45 LBS. FELT, 6 MIL POLY OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE WITH 1/2" DIAMETER ANCHOR BOLTS AT MAXIMUM 6'-0" O.C. OR OTHER APPROVED METHOD.
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INSULATION REQUIREMENTS 4500 DEGREE DAYS OR GREATER	R-60	(R.S.I. - 10.56)
	R-24	(R.S.I. - 4.23)
- 6 MIL ULTRAVIOLET RESISTANT POLY AIR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF INSULATION.
- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE EQUALLY DISTRIBUTED BETWEEN TOP OF ATTIC SPACE AND OVERHANG SOFFIT.
- PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- ATTICS OR ROOF SPACES TO BE VENTED MINIMUM 1/300 OF AREA. UNHEATED CRAWLSPACES TO BE VENTED MINIMUM 1/500 OF AREA WITH CLOSEABLE VENTS.

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SYMBOL		DESCRIPTION		SYMBOL		DESCRIPTION		SYMBOL		DESCRIPTION	
<b>CEILING</b>											
WALL											
SURFACE MOUNTED LIGHT FIXTURE (P.S. INDICATIONS PULL SWITCH)											
DROPPED LIGHT FIXTURE											
CEILING FAN											
RECESSED LIGHT FIXTURE											
RECESSED WALL WASHER											
VAPOUR PROOF LIGHT FIXTURE											
FLOOD LIGHT											
CLOCK OUTLET											
VENT FAN											
RECESSED HEAT LAMP											
TRACK LIGHT											
SINGLE FLUORESCENT FIXTURE											
FLUORESCENT LIGHT FIXTURE SURFACE MOUNTED											
FLUORESCENT LIGHT FIXTURE RECESSED											
<b>DUPLEX RECEPTACLE (NUMBER INDICATES HEIGHT ABOVE FLOOR IF OTHER THAN 12")</b>											
SINGLE RECEPTACLE											
QUAD RECEPTACLE											
DUPLEX RECEPTACLE SWITCHED ONE SIDE											
DUPLEX RECEPTACLE - SPLIT CIRCUIT											
DUPLEX FLOOR RECEPTACLE											
SPECIAL PURPOSE FIXED WIRE OUTLET - I.E. DISHWASHER, SAUNA											
208/230 VOLT FOR RANGE, OVEN, AND DRYER ETC. - 30 OR 40 AMP											
DUPLEX APPLIANCE OUTLET											
DUPLEX RECEPTACLE WEATHER PROOFED, ALL W.P. OUTLETS ALSO TO HAVE G.F.I. PROTECTION.											
DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER CIRCUIT BREAKER											
SINGLE POLE SWITCH											
3 OR 4 WAY SWITCH											
DIMMER CONTROL SWITCH											
DOOR SWITCH											
TIMER											
<b>GARAGE DOOR OPENER</b>											
DOOR CHIMES											
PUSH BUTTON											
INTERCOM CENTER											
REMOTE INTERCOM											
TELEVISION CABLE OUTLET											
TELEVISION OUTLET											
SMOKE DETECTOR AND ALARM											
<b>STANDARD SYMBOLS</b>											
CLASS A METAL CHIMNEY											
CLASS B METAL CHIMNEY											
HOSE BIB											
FLOOR DRAIN											
LAMINATED POST IN WALL SUPPORTING BEAM OR GIRDER TURSS. (WIDTH OF POST SAME AS STRUCTURAL MEMBER SUPPORTED)											
FLOOR											
CEILING											
WALL											
WARM AIR REGISTERS											
RETURN AIR REGISTER											

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- THIS DRAWING WAS PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE BC BUILDING CODE. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO INSURE THAT SUBSEQUENT CHANGES TO THE CODE ARE COMPLIED WITH AND INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO THE CURRENT BC BUILDING CODE AND/OR LOCAL BUILDING CODES AND BYLAW THAT MAY TAKE PRECEDENCE.
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- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- JENISH HOUSE DESIGN LIMITED SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOAD.
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- PRIOR TO COMMENCING EXCAVATION WORK THE BUILDER SHALL BE RESPONSIBLE FOR ESTABLISHING THE LOCATION OF AND CLEARLY MARKING EXISTING SERVICES AND IMMEDIATELY NOTIFYING APPLICABLE AUTHORITIES OF ANY DISCREPANCIES.
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INSULATION REQUIREMENTS 4500 DEGREE DAYS OR GREATER	R-60	(R.S.I. - 10.56)
	R-24	(R.S.I. - 4.23)
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- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE EQUALLY DISTRIBUTED BETWEEN TOP OF ATTIC SPACE AND OVERHANG SOFFIT.
- PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- ATTICS OR ROOF SPACES TO BE VENTED MINIMUM 1/300 OF AREA. UNHEATED CRAWLSPACES TO BE VENTED MINIMUM 1/500 OF AREA WITH CLOSEABLE VENTS.

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ROOF  
29' - 11 15/16"

SECOND FLOOR CEILING  
19' - 2 1/8"

SECOND FLOOR  
11' - 1 3/8"

FIRST FLOOR CEILING  
10' - 0 3/4"

FIRST FLOOR  
0' - 0"



FRONT ELEVATION

1/4" = 1'-0"

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SECOND FLOOR CEILING  
19' - 2 1/8"

SECOND FLOOR  
11' - 1 3/8"

FIRST FLOOR CEILING  
10' - 0 3/4"

FIRST FLOOR  
0' - 0"

U/S FLOOR JOIST  
-1' - 0 5/8"

BASEMENT  
-10' - 1 3/8"



REAR ELEVATION

1/4" = 1'-0"

HEAD OFFICE:

201-1558 COMMERCE AVE  
KELOWNA, B.C., V1X 8A9  
(250) 420-3346  
TOLL FREE 1-888-458-9235

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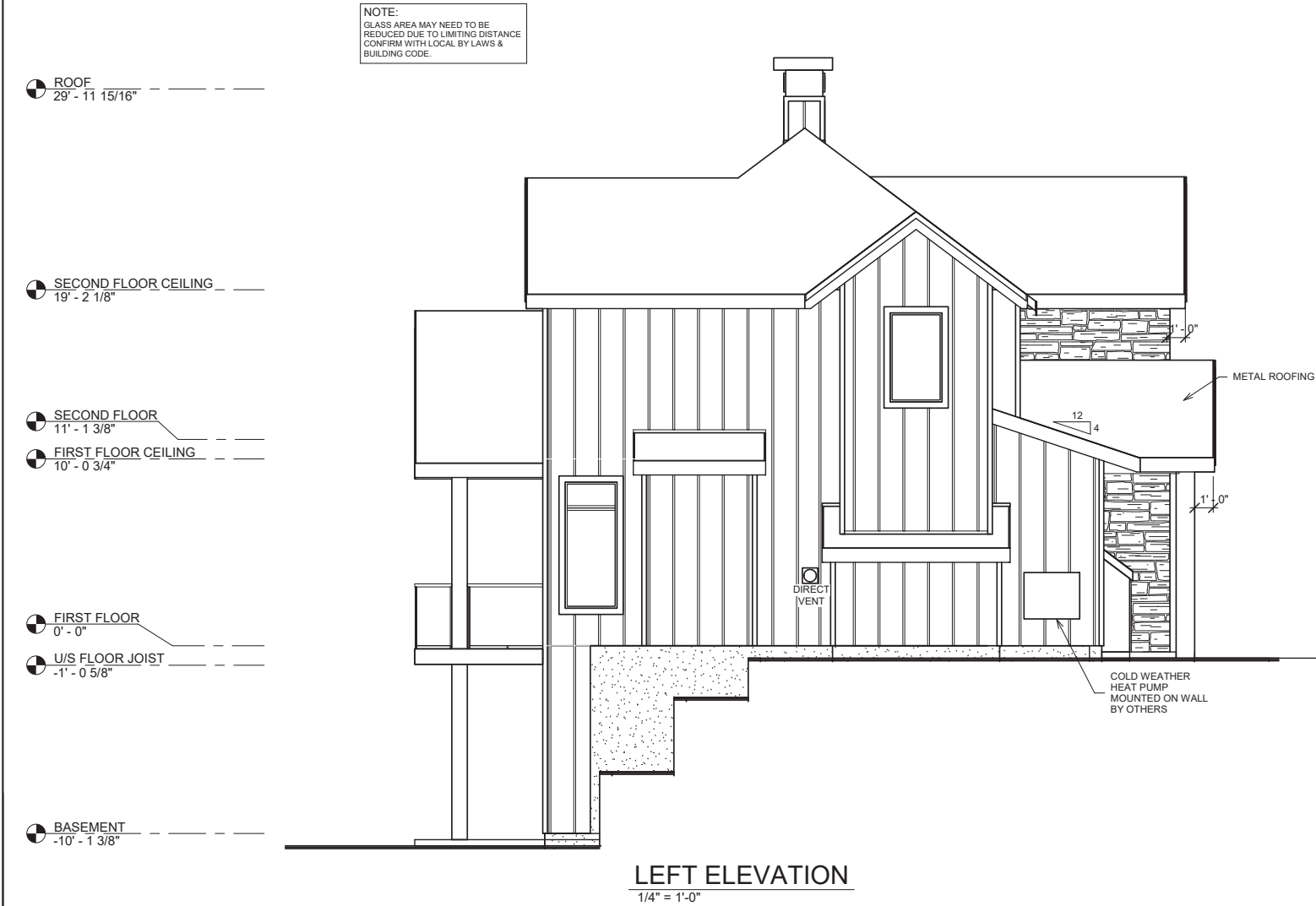
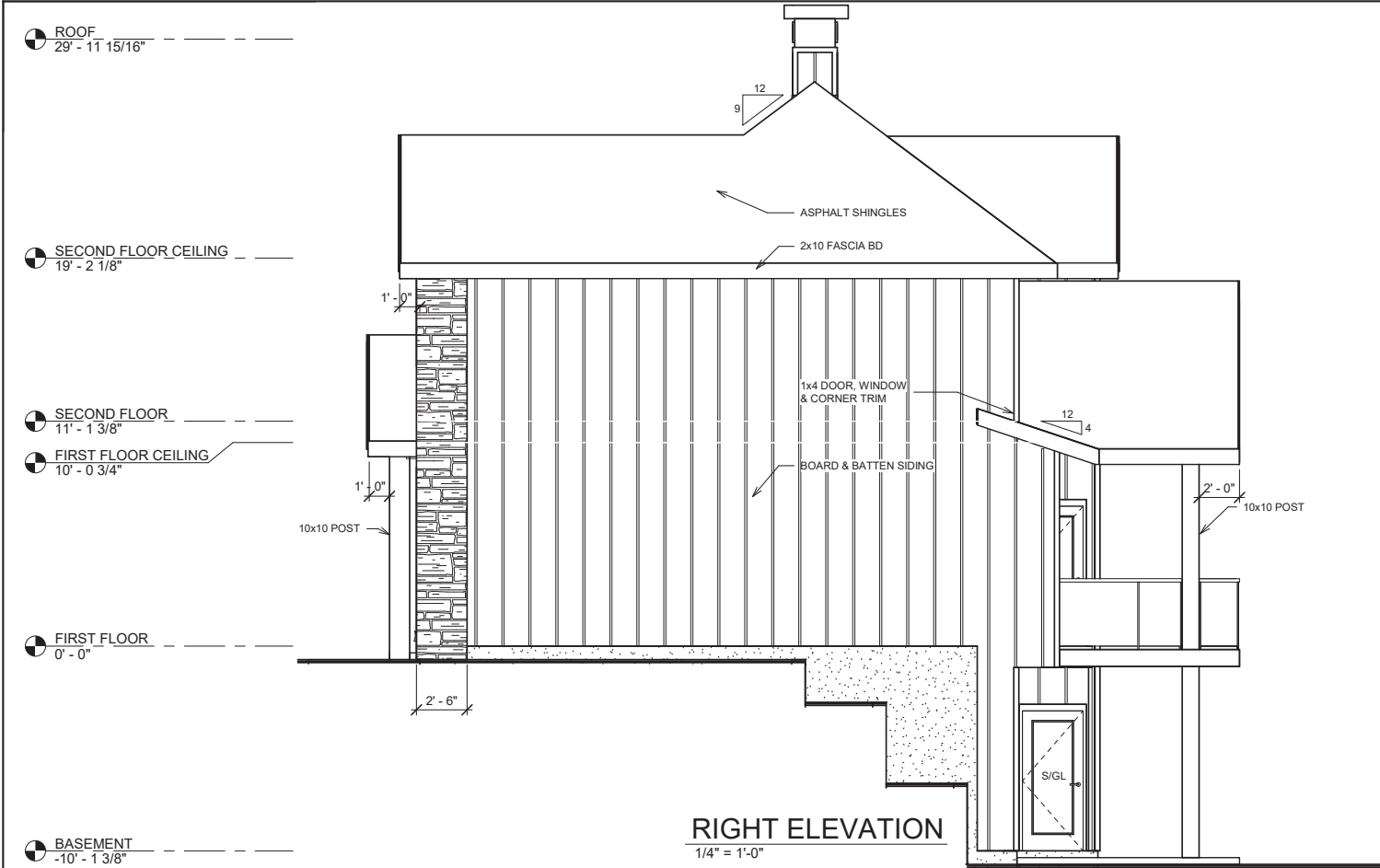
CHECKED:  
TB

DATE:  
FEB. '22

SCALE:  
AS NOTED

SHEET:  
5 OF 7

PLAN NUMBER:  
C8-3-108



NOTE:  
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ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	CEILING		WALL		DUPLEX RECEPTACLE (NUMBER INDICATES HEIGHT ABOVE FLOOR IF OTHER THAN 12")
	SURFACE MOUNTED LIGHT FIXTURE (P.S. INDICATIONS PULL SWITCH)		SINGLE RECEPTACLE		GARAGE DOOR OPENER
	DROPPED LIGHT FIXTURE		QUAD RECEPTACLE		DOOR CHIMES
	CEILING FAN		DUPLEX RECEPTACLE SWITCHED ONE SIDE		PUSH BUTTON
	RECESSED LIGHT FIXTURE		DUPLEX RECEPTACLE - SPLIT CIRCUIT		INTERCOM CENTER
	RECESSED WALL WASHER		DUPLEX FLOOR RECEPTACLE		REMOTE INTERCOM
	VAPOUR PROOF LIGHT FIXTURE		SPECIAL PURPOSE FIXED WIRE OUTLET - I.E. DISHWASHER, SAUNA		TELEVISION CABLE OUTLET
	FLOOD LIGHT		208/230 VOLT FOR RANGE, OVEN, AND DRYER ETC. - 30 OR 40 AMP		TELEVISION OUTLET
	CLOCK OUTLET		DUPLEX APPLIANCE OUTLET		SMOKE DETECTOR AND ALARM
	VENT FAN		DUPLEX RECEPTACLE WEATHER PROOFED ALL W.P. OUTLETS ALSO TO HAVE G.F.I. PROTECTION.	STANDARD SYMBOLS	
	RECESSED HEAT LAMP		DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER CIRCUIT BREAKER		CLASS A METAL CHIMNEY
	TRACK LIGHT		SINGLE POLE SWITCH		CLASS B METAL CHIMNEY
	SINGLE FLUORESCENT FIXTURE		3 OR 4 WAY SWITCH		HOSE BIB
	FLUORESCENT LIGHT FIXTURE SURFACE MOUNTED		DIMMER CONTROL SWITCH		FLOOR DRAIN
	FLUORESCENT LIGHT FIXTURE RECESSED		DOOR SWITCH		LAMINATED POST IN WALL SUPPORTING BEAM OR GIRDER TURSS. (WIDTH OF POST SAME AS STRUCTURAL MEMBER SUPPORTED)
			TIMER		FLOOR WARM AIR REGISTERS
					CEILING WARM AIR REGISTERS
					WALL WARM AIR REGISTERS
					RETURN AIR REGISTER

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- ALL LINTELS SHALL BE 2 - 2 X 10'S UNLESS OTHERWISE NOTED.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 45 LBS. FELT, 6 MIL POLY OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE WITH 1/2" DIAMETER ANCHOR BOLTS AT MAXIMUM 6'-0" O.C. OR OTHER APPROVED METHOD.
- EXTERIOR CONCRETE SILL PLATES TO BE LEVEL AND UNDERSIDE SEALED.
- FLOOR JOISTS AND ROOF JOISTS WITH SPANS MORE THAN 7'-0" SHALL BE CROSSBRIDGED AT MID SPAN OR AT 7'-0" O.C. MAXIMUM UNLESS SHEATHED OR STRAPPED BOTH SIDES WITH WOOD. BRIDGING SHALL BE 2 X 2 DIAGONAL TYPE WHEREVER POSSIBLE.
- ROOF TRUSSES REQUIRE ENGINEER'S CERTIFICATE. FOR PREFABRICATED TRUSSES OBTAIN CERTIFICATE FROM MANUFACTURER.

INSULATION AND VENTILATION

- MINIMUM INSULATION REQUIREMENTS:

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ROOF/CEILING (SLOPING)	R-28	(R.S.I. - 4.93)
WALLS	R-24	(R.S.I. - 3.87)
INSULATION REQUIREMENTS 4500 DEGREE DAYS OR GREATER	R-60	(R.S.I. - 10.56)
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FEB. '22

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AS NOTED

SHEET:

6 OF 7

PLAN NUMBER:

C7-3-154

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Proposed Phase 9 Duplex #1





## Proposed Phase 9 Duplex #2



## Proposed Phase 10 Single Family Residence







DEVELOPMENT  
 PERMIT NO. 2436-06D  
 SCHEDULE 2

MAY 15, 2006  
 ISSUED FOR DEVELOPMENT PERMIT  
 AMENDMENT / VARIANCE

*Revised:*  
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 Consultant

Note on Drawing Scale:  
 24"x36" Sheets: As Noted  
 12"x18" Sheets: Half Noted Scale

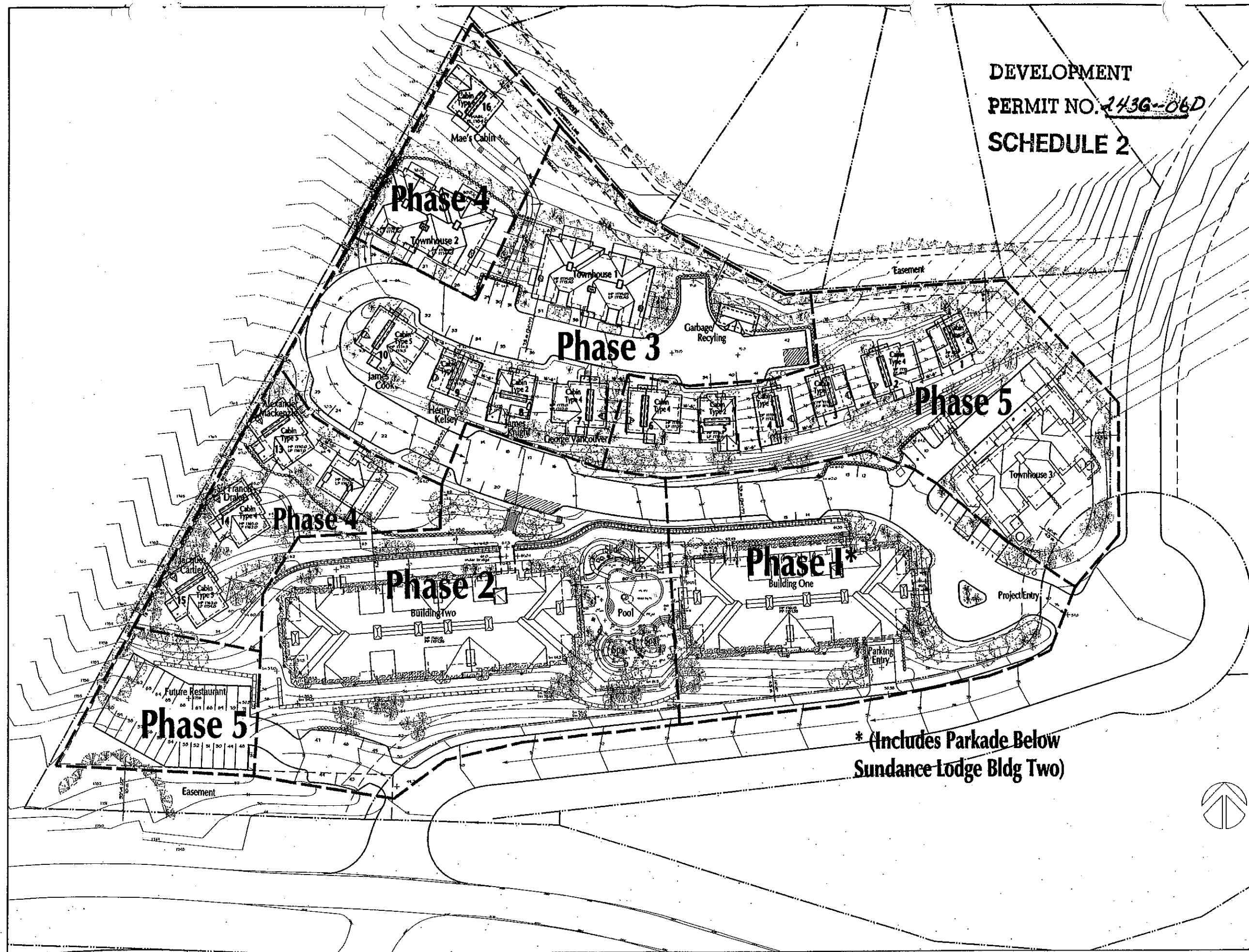
Project File:  
**Sundance Resort**  
**Cabin 11 / 12**  
 Big White, B.C.

For  
**LEGEND**  
 RESORTS LTD.

Sheet Title:  
 Overall Site and Phasing Plan

Revised:  
 Drawn:  
 Checked:  
 Date: MAY 15, 2006  
 Scale: 1" = 30'-0"  
 Sheet Number:

**SK-2.1**



# Electoral Area E/West Boundary-Big White Advisory Planning Commission (APC) Staff Report

<b>RE:</b>	BC Timber Sales - Block and Road Referral - 18046-30/BCTS FSP 771		
<b>Date:</b>	May 2, 2022	<b>File #:</b>	B-54-BW BC Timber Sales Area BW & E
<b>To:</b>	Members of Electoral Area E/West Boundary-Big White		
<b>From:</b>	Geoffrey Genge, Planner		

## Issue Introduction

We have received a referral from BC Timber Sales (BCTS) inviting us to provide comments on their proposal for 7 cut blocks and associated roads, totalling 111.2 hectares located in Electoral Area E (see attachments).

Property Information	
<b>Owner(s):</b>	Crown Provincial
<b>Agent:</b>	Michael Kyler, Planning Forester
<b>Location:</b>	West of Big White Road and West of Carmi
<b>Electoral Area:</b>	E/West Boundary-Big White
<b>Legal Description(s):</b>	Portions of Unsurveyed Crown Land
<b>Area:</b>	Unknown
<b>Current Use(s):</b>	Forest
Land Use Bylaws	
<b>OCP Bylaw No.</b>	NA
<b>DP Area:</b>	NA (expect one block designated as Recreational Resource in OCP Bylaw 1125)
<b>Zoning Bylaw No.</b>	NA (expect one block in REC1 zone in Zoning Bylaw 1166)
Other	
<b>ALR:</b>	NA
<b>Waterfront / Floodplain:</b>	NA
<b>Service Area:</b>	NA
<b>Planning Agreement Area:</b>	NA

## History / Background Information

The proposed timber harvesting locations are situated within Crown Land in two distinct portions of Electoral Area E; west of Big White Road and west of Carmi.

The lands adjacent to some of the proposed development areas appear to have been harvested previously. Based on our orthoimagery, it appears that portions of the adjacent lands have been replanted.



The lands are located in an area of No Zoning or OCP except for one (1) block located in the Recreational Resource (REC1) zone of Big White Ski Resort Zoning Bylaw No. 1166 and designated Recreational Resource in Big White Ski Resort OCP Bylaw No. 1125.

## **Proposal**

BCTS proposes to harvest a variety of trees from 7 cut blocks totaling 111.2 hectares. The proposed cut blocks are all on Crown Land in Electoral Area E with one Block located in Big White and will be accessed existing Forest Service Roads (Big White area) as well as the construction of extensions to existing Forest Service Roads (Carmi area).

## **Implications**

### Land Use and Zoning Considerations

The proposed development areas appear to be consistent with the land use objectives and policies contained within the OCP Bylaw No. 1125. Additionally, "Resource Use" is permitted in the REC1 zone. Resource Use is defined as:

- *means a use providing for the conservation, and management of natural resources and extraction of primary forest materials, and the extraction, grading and crushing of mineral resource;*

All forest operations on Crown land in BC are governed by the *Forest and Range Practices Act (FRPA)* and its regulations. BCTS ensures that measures are put in place to mitigate environment impacts for each proposed block. Proposed cut blocks "K8DF and K8FE" appear to have mapped watercourses that run through or near them.

To ensure development activities aren't adversely affecting watercourses, BCTS has the following practices:

- Consultation with hydrologists and engineers;
- Assessments of the blocks are done during snow free times of the year,;
- Create riparian reserve zones and machine free zones;
- Minimize road lengths;
- Create water bars and deactivate in-block roads post-harvest;
- Minimize skidding trails and stream crossings;
- Closely monitor the harvesting activities occurring near watercourses;
- Conduct post-harvest assessments to verify that everything went as planned; and,
- Conduct follow up work as needed.

## **Attachments**

Site Location Maps

Applicant Submission with Map



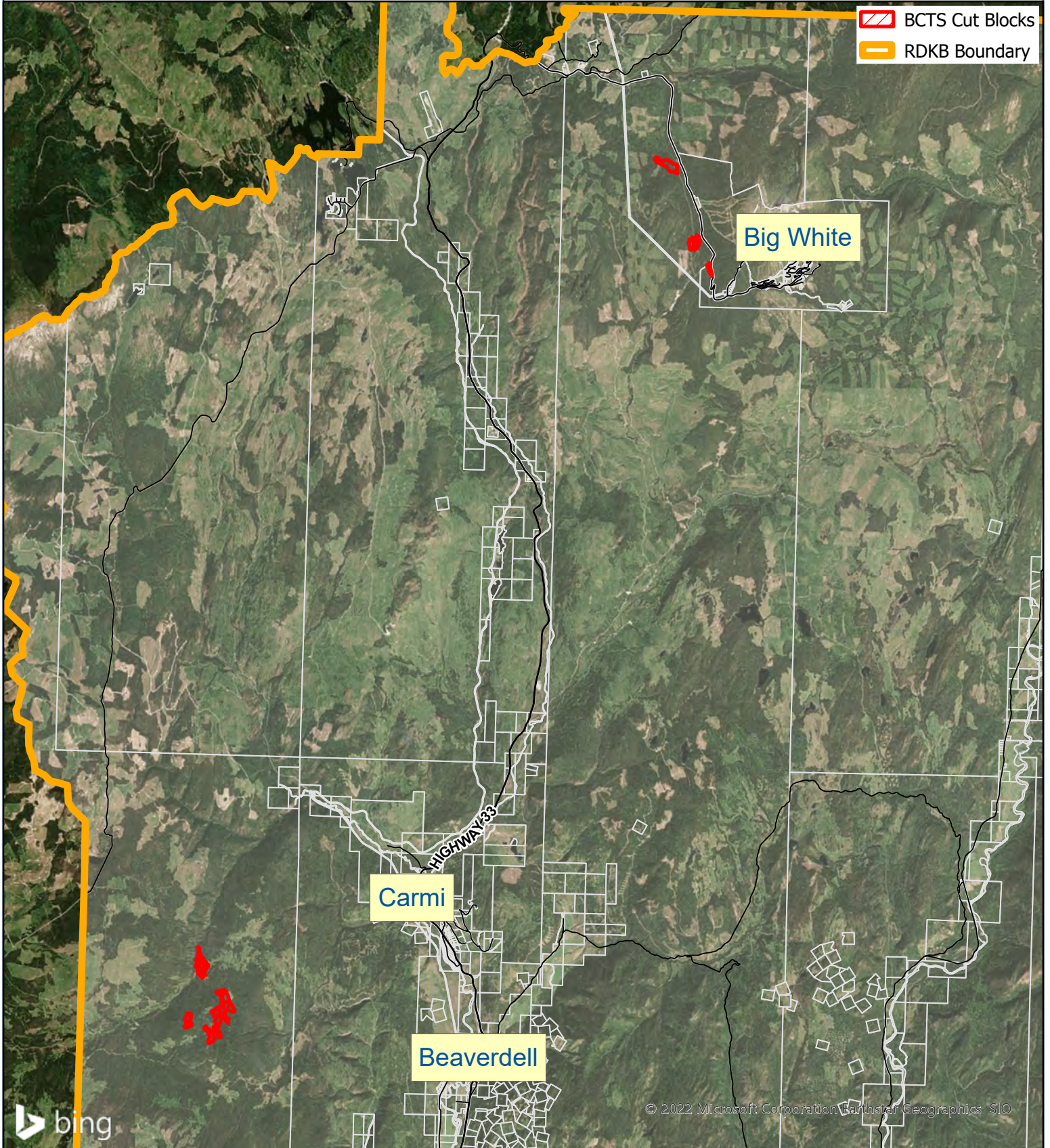
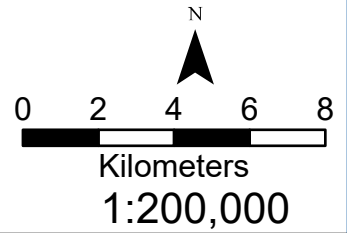


Regional District of  
Kootenay Boundary

Date: 2022-04-12

# Site Location Map

BC Timber Sales  
Cut Blocks  
Electoral Area E



202-843 Rossland Ave, Trail BC V1R 4S8 | T: 250.368.9148 | T/F: 1.800.355.7352 | [rdkb.com](http://rdkb.com)

P:\IPD\General Files\B-54-BW BC Timber Sales Big White\2022-May-Cut Blocks\Maps\2022-04-12\_SM\_BCTSCutBlocks\2022-04-12\_SM\_BCTSCutBlocks.aprx







File: 18046-30/BCTS FSP 771

SIGNING DATE: March 18, 2022

[plandept@rdkb.com](mailto:plandept@rdkb.com)

Planning Department  
Regional District of Kootenay Boundary  
202 - 843 Rossland Avenue  
Trail BC V1R4S8

**Re: Referral on Proposed BCTS cut blocks and roads within the Okanagan-Columbia Business Area.**

As an identified stakeholder organization that has a potential interest in BC Timber Sales operating areas, you are invited to provide comments on the following development that may overlap your areas of interest.

BCTS plans to prepare and develop **7** new cut blocks totalling **111.2 hectares** and associated roads that may affect your interests. Please see the attached table and web link below to review the location of the proposed development. The proposed cutblock shapes shown represent preliminary salvage exploration areas within which harvesting potential is being explored and may not necessarily correspond to the final cutblock shapes. For the three proposed cut blocks located in the Big White area, the harvest areas are intended to be designed as selection-cut wildfire risk reduction treatments that will contribute to a landscape level fuel break connecting previously proposed selective harvesting areas along Big White West FSR.

If you have any technical or operational comments or have questions or concerns on how this proposed development may impact your interests on the areas to be harvested, please respond in writing to the undersigned before **May 12, 2022** to ensure consideration before activities commence.

Please follow the link below to view or download PDF maps and KML (Google Earth) files: (alternatively, you can type "BCTS FSP 771" into a Google or Bing search and select the top search result to bring you to the same site)

<https://www2.gov.bc.ca/gov/content/industry/forestry/bc-timber-sales/fsp/okanagan-columbia-fsp>

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Ministry of Forests, Lands and  
Natural Resource Operations and  
Rural Development

BC Timber Sales  
Okanagan-Columbia  
Business Area

Mailing Address:  
2501-14<sup>th</sup> Avenue  
Vernon, BC V1T 8Z

Tel: (250) 558-1700  
Fax: (250) 549-5485

Website: <https://www2.gov.bc.ca/gov/content/industry/forestry/bc-timber-sales>

Related harvest development maps and spatial data are located within the '[2022 Annual Referral: Proposed Cut Block and Road Development](#)' dropdown and then subdivided by Field Team as indicated in the attached tables below. You can also find the Field Team and Operating Areas that corresponds to your area of interest on the '[Operating Area Map](#)' link on the same dropdown. If you would like to request more detailed maps of any specific development areas, please contact the undersigned.

Yours truly,



Michael Kyler  
Planning Forester, BC Timber Sales  
Okanagan-Columbia Timber Sales Office  
[Michael.Kyler@gov.bc.ca](mailto:Michael.Kyler@gov.bc.ca)  
(778) 943-6978

*Attachment: Development Summary tables*

**Blocks:**

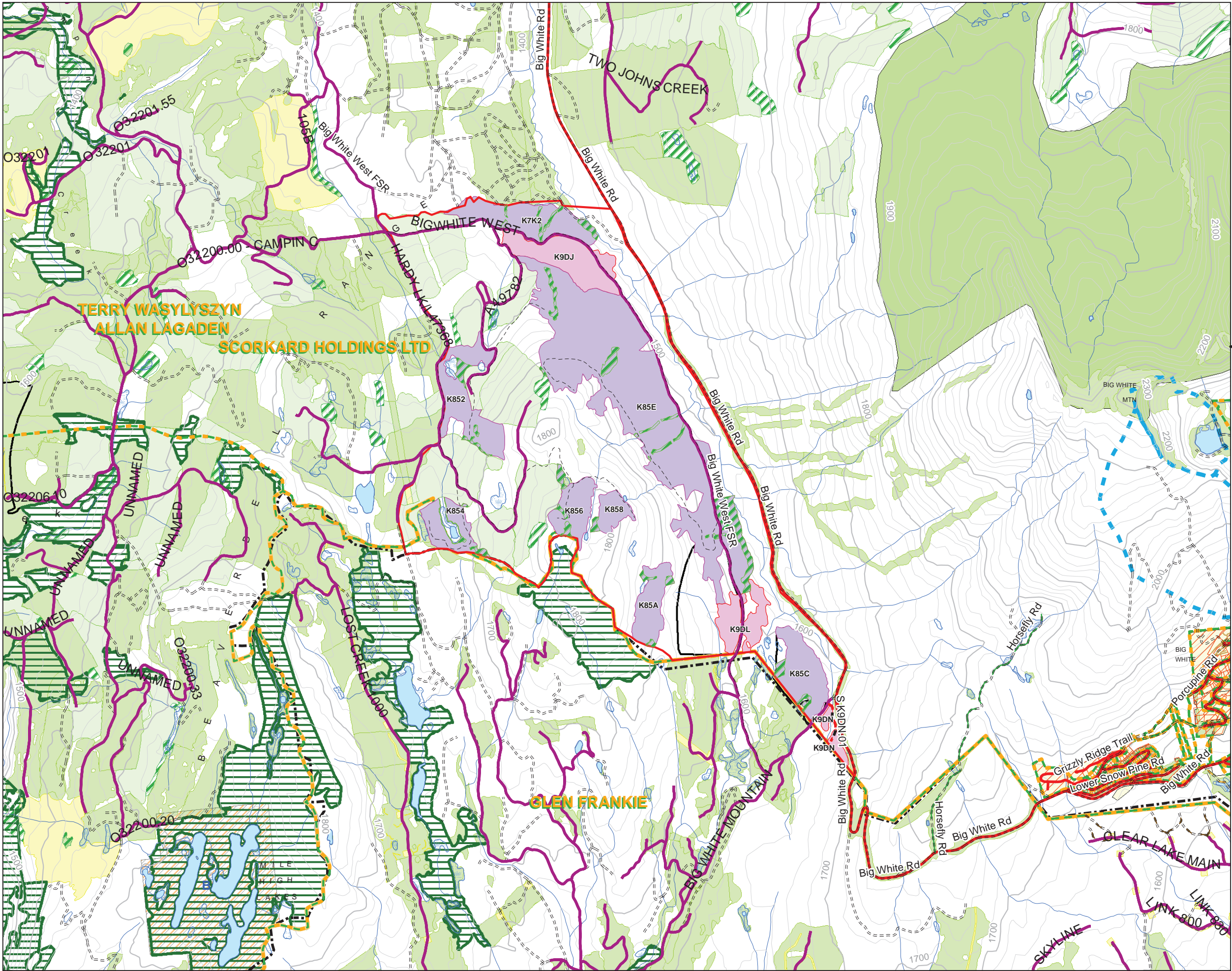
Number of Blocks: 7 Gross Area: 111.2ha


Field Team	Operating Area	Licence ID	Block ID	Area (ha)	Associated Roads
Okanagan South Zone	Big White	!Planning South	K9DJ	22.1	
Okanagan South Zone	Big White	!Planning South	K9DL	13.9	
Okanagan South Zone	Big White	!Planning South	K9DN	3.4	S K9DN.01
Okanagan South Zone	Skaha	TA0922	K8FE	12.1	
Okanagan South Zone	Skaha	TA1266	K89K	16.3	S K89K.01, S K89K.02, S K89K.ECE1
Okanagan South Zone	Skaha	TA1267	K8DF	37.8	S K8DF.01
Okanagan South Zone	Skaha	TA1267	K8F8	5.6	

**Roads independent of Referral Blocks above:**

Field Team	Operating Area	Road Name



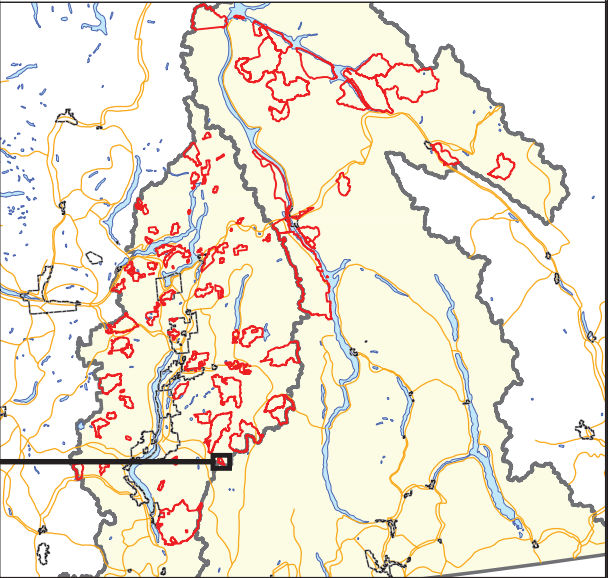




# Consultation Map

Operating Area  
**Big White**

Business Area  
**Okanagan Columbia**



**Administrative Boundaries**

- BCTS Operating Area
- Landscape Unit
- TFL (Tree Farm Licence)
- Com & Dom Watershed
- Parks & Protected Area

- Crown Grants (+ Research Installations)
- Private Land
- First Nation Reserve
- Range Tenure

**Access Management**

- BCTS Proposed Road
- Tenured Road
- Non-status Road
- Conceptual Road

**Block Management**

- Proposed Blocks
- Previously Referred
- Conceptual
- WTP / WTRA
- Other Licensee Block

**Harvested Areas**

- Logging Started
- Logging Completed
- SR
- FG & IMM

**Other**

- Cattleguard
- Gate
- Corral
- Crossing
- Exclosure
- Salt
- Water Development
- Cabin
- Other Type
- Fence
- Stock Trail
- Water Development
- Mod-Steep Slope
- Recreation Trail
- OGMA
- MOGMA

**Topographic Features**

- Contour
- Stream
- Wetland
- Lake/River

0 0.25 0.5 1 1.5 km.

1:15,000

Date 2022-02-10 User mkyler

Template Name TOC Consultation Map\_2022

Coordinate System NAD 1983 BC Environment Albers

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